

LEGEND

- AC - AIR CONDITIONER
- B - BROOM CUPBOARD
- BW - BREEZEWAY
- C'BD - CUPBOARD
- CSD - CAVITY SLIDING DOOR
- DH - DOUBLE HUNG WINDOW
- dp - DOWN PIPE
- DW - DISHWASHER PROVISION
- FG - FIXED GLASS
- F.L. - FINISHED FLOOR LEVEL
- F.P.S. - FIXED PRIVACY SCREEN
- H - HOSE COCK
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- LC - LAUNDRY CHUTE
- MB - METER BOX
- MH - MANHOLE
- MW - MICROWAVE PROVISION
- OBS - OBSCURE GLASS
- oh - OVERHEAD CUPBOARD
- PV - PERMANENT VENT
- Ply - PANTRY
- RD - ROLLER DOOR
- F - FRIDGE and/or FREEZER PROVISION
- RH - RANGEHOOD
- S - SINK
- SD - SLIDING DOOR
- SGD - SLIDING GLASS DOOR
- SH - 4 Shelves
- Shr. - SHOWER
- SW - SLIDING GLASS WINDOW
- t - TUB
- UBO - UNDER BENCH OVEN
- V - VANITY BASIN
- W.C. - WATER CLOSET
- WM - WASHING MACHINE PROVISION
- WO - WALL OVEN
- ☉ - SMOKE ALARM

Wind Classification
W33(N2)

Energy Efficiency

Certificate of Compliance provided by others.
Energy Efficient Light Globes Used In This Home
In Compliance with BCA 3.12 & Queensland Development Code - MP 4.1 'sustainable housing'.

GENERAL NOTES

- This document is based on information provided by the builder.
- These drawings shall be read in conjunction with all other Consultants drawings and Specifications.
- All information contained is subject to change in line with local authority requirements and further detailed planning. Whilst all care and consideration has been taken in the preparation of the information contained in this document, no responsibility is accepted for any inadvertent errors or omissions.
- Before proceeding with the works any discrepancies in the drawings shall be referred for decision to the author.
- Setting out dimensions and sizes of structural members or elements shall not be obtained by scaling the structural drawings. Figure dimensions take precedence to scaled dimensions.
- Internal dimensions between wall framing do not include the allowance for lining thicknesses; External wall dimensions do not include allowance for cladding thickness.
- Any setting out dimensions shown on the drawings shall be checked by the contractor before construction work commences.
- During construction, the structure shall be maintained in a stable condition. Construction loads must not exceed the capacity of the structure at the time of loading. If in doubt ask.
- Untels under all girder trusses shall be checked by truss supplier.
- Angled walls shall be @ 45° unless noted otherwise.
- WIND classification :- W.33 (N2)

BUILDING & DESIGN

- Building regulatory as per the Queensland Building Act 1975' and Queensland Building Regulation 2006'.
- Structural Sufficiency, safety, health and amenity shall be achieved in accordance with the Building Code of Australia;
- Timber framing shall be designed and constructed in accordance with A.S.1684.2 & A.S.1684.4 - Non-cyclonic areas A.S.1684.3 - Cyclonic areas.
- Smoke alarms to comply with NCC 3.7.5, AS3786-2014 and Building Regulation 2006 Part 3.a.
- Gas bottle / HWS location in accordance with AS 5601.
- Install Lift-Off hinges to W/C door/s to comply with NCC, section 3.8.3
- Wet areas within a building (bathroom, showers, laundries and toilets) must be waterproofed in accordance with NCC 3.8.1.2 and AS 3740. An approved installation certificate by a licensed Waterproofing must be supplied to the certifier prior to the final certificate being issued. *Note: timber floors are not considered water resistant or water proof materials.
- Mechanical ventilation complying with NCC 3.8.5 & 3.8.7.3 and AS 1668.2 shall be installed to toilets, bathrooms and laundries that do not have openable openings. Minimum flow rate and discharge for exhaust systems to be 25L/s for bathrooms or WC and 40L/s for kitchen or L'dry. WC & L'dry compartments must be discharged either directly via a shaft or duct externally or to a ventilated roof space (in accordance with NCC 3.8.7.4.)
- Dwelling to comply with the Queensland Development Code (QDC) - MP 4.1 'Sustainable Housing'.
- All Workmanship and materials shall be in accordance with the requirements of the current editions, including Amendments, of the relevant SAA Codes, except as varied by the Contract Documents and of the By-laws of the Local Government Authority.

SMOKE ALARM NOTES:-

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH A.S.3786-2014 PHOTO-ELECTRIC & INTERCONNECTED

Where practical smoke alarms must be placed on the ceiling. Smoke alarms MUST NOT be placed:

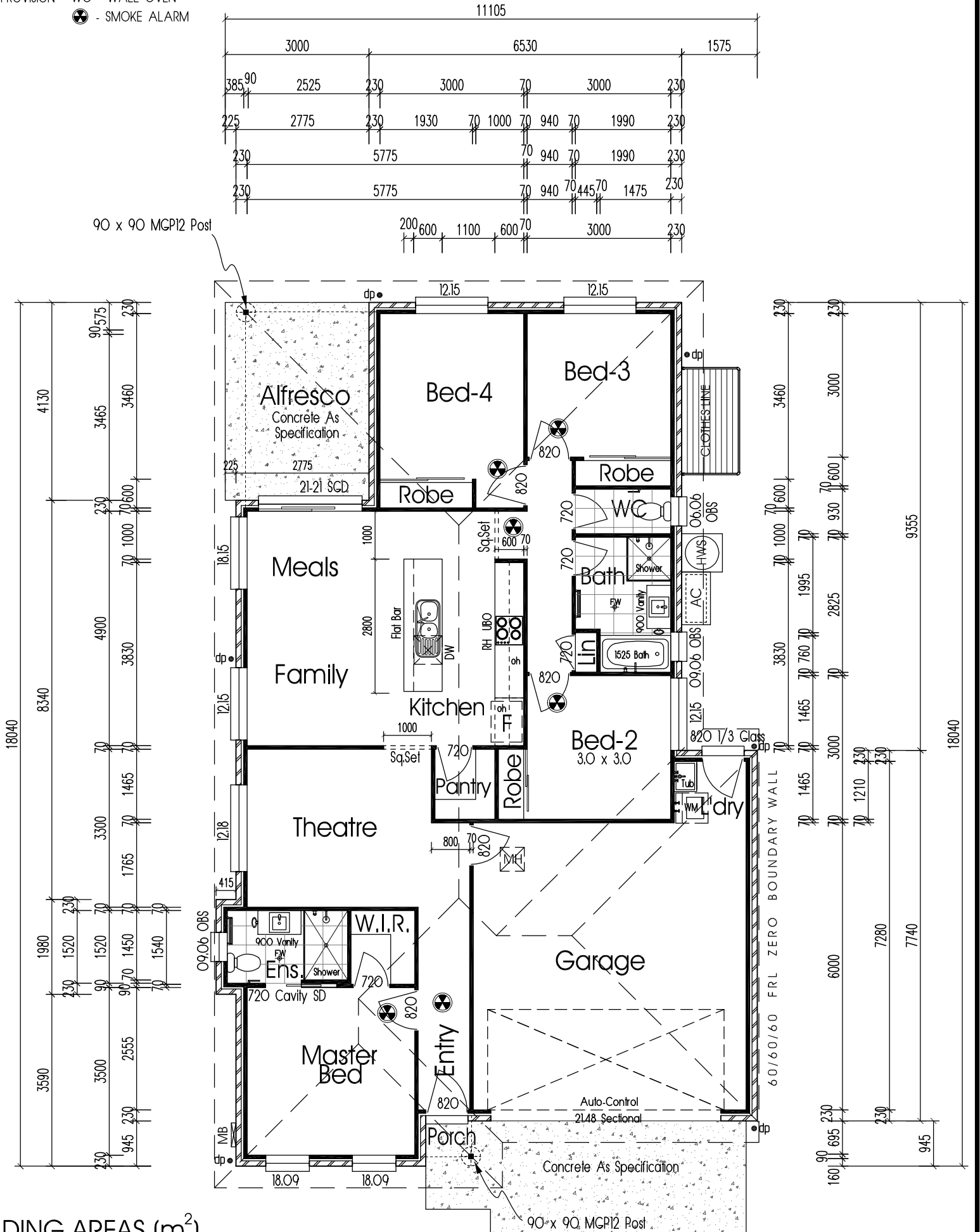
- Within 300mm of the corner of a ceiling and a wall
- Within 300mm of a light fitting
- Within 400mm of an air-conditioning vent
- Within 400mm of blades of a ceiling fan

BUILDING AREAS (m²)

Living Area =	124.80 m ²
Garage Area =	39.56 m ²
Alfresco Area =	12.39 m ²
Porch Area =	1.14 m ²
Total Area =	177.89 m²

WALL PERIMETER (lm)

EXTERNAL WALL PERIMETER - 58.67 lm



Elevations

Floor Plan

<p>PAUL VENOUR BUILDING DESIGNER © COPYRIGHT</p> <p>1 As Shown Original Issue No. DATE AMENDMENT</p> <p>CLIENT - PROJECT - Proposed Dwelling at Lot</p>	<p>QBCC Lic No: 1150343 Ph: 0402 286 948 paul.venour@bigpond.com</p> <p>HOUSE DESIGN: MONASH Mk 3 - RH</p> <p>FAÇADE: CONTEMPORARY</p>	<p>THESE PLANS FORM PART OF OUR CONTRACT & DEVELOPMENT APPROVAL</p> <p>CLIENT(s) - _____ [SIGNATURE] _____ [SIGNATURE]</p> <p>Date - _____</p> <p>BUILDER - _____ [SIGNATURE] _____ [SIGNATURE]</p> <p>Date - _____</p> <p>Lot - _____ Parish - _____ Drawn - PDV</p> <p>Plan No. - _____ County - _____ Date - 10-08-2022</p> <p>Area - _____ Authority - _____ Scale - 1:100</p>	<p>Thomas Paul Constructions (Qld) Pty Ltd QBCC Licence: 1105395 Unit 4 12-14 Expo Court Ashmore QLD 4214 Phone: 07 5555 5757</p> <p>THOMAS PAUL</p> <p>Job No. 2022388 Page 1</p>
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22 1/2° Pitch Roof Trusses • 600c As Manufacturers Specification

2440

Hardies 'Primeline' Cladding As Specification



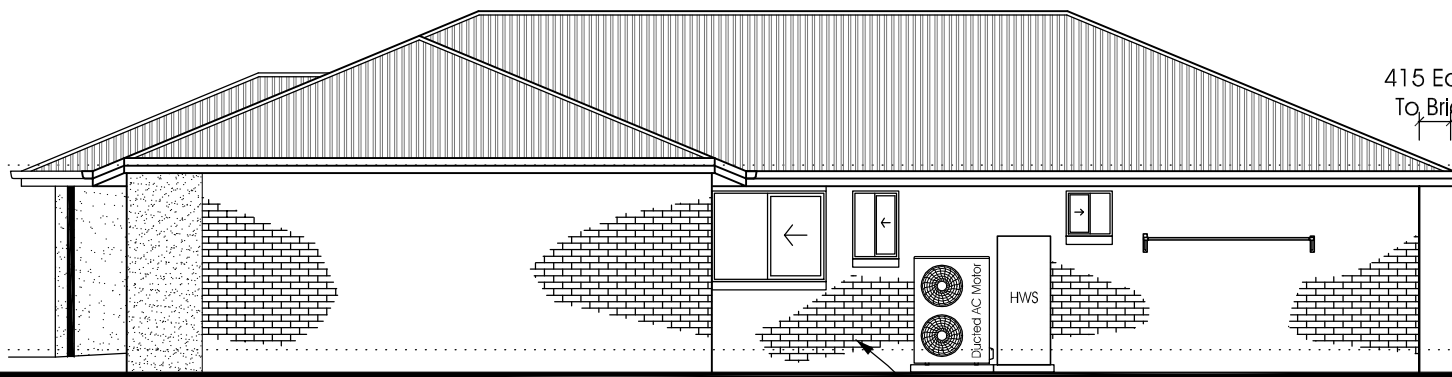
Rendered Common Masonry As Specification To Elevation 1 With 1m Returns To Sides

Elevation 1

90 x 90 MGP12 Post

2440

Elevation 2



415 Eave To Brick

Face Brick As Specification

2440

Elevation 3

Metal Gutter & Fascia

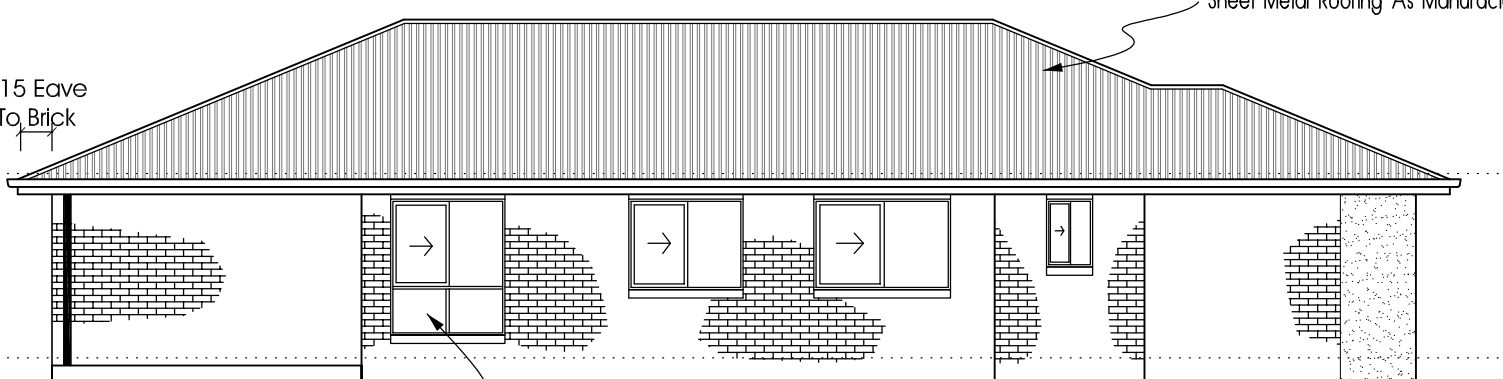


405 Eave To Brick

90 x 90 MGP12 Post

2440

Elevation 4



415 Eave To Brick

Sheet Metal Roofing As Manufacturers Specification

Aluminium Framed Glazing As Specification

2440

Typical Section Detail

Sheet Metal Roofing As Manufacturers Specification

22 1/2° Pitch Roof Trusses • 600c As Manufacturers Specification

415 Eave To Brick

Metal Gutter & Fascia

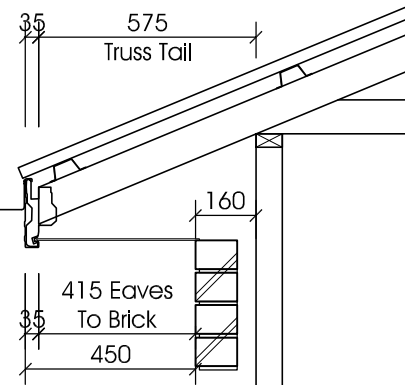
Theatre

Garage

L'dry

All Footings As Engineers Specification

Eave Detail



PAUL VENOUR BUILDING DESIGNER		
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1	As Shown	Original Issue
No.	DATE	AMENDMENT

HOUSE DESIGN: MONASH Mk 3 - RH
FACADE: CONTEMPORARY

THESE PLANS FORM PART OF OUR CONTRACT & DEVELOPMENT APPROVAL		
CLIENT(s) -	[SIGNATURE]	[SIGNATURE]
Date -		
BUILDER -	[SIGNATURE]	Date -



Thomas Paul Constructions
(Qld) Pty Ltd
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Ashmore QLD 4214
Phone: 07 5555 5757

CLIENT -
PROJECT - Proposed Dwelling at Lot

Lot -	Parish -	Drawn - PDV
Plan No. -	County -	Date - 10-08-2022
Area -	Authority -	Scale - 1:100

Job No.
2022388
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