

# Willow

LOGAN RESERVE

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# Project Overview

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Willow Logan Reserve is a brand new residential community by Orchard Property Group. Strategically positioned in the rapidly growing Logan region, the project is just 35 minutes from the Brisbane CBD and 50 minutes to the Gold Coast and its iconic beaches.

The project will be a family-focused community, featuring more than 2 hectares of open green space including a large park

with playground, basketball half court, picnic area and more.

The region offers easy access to quality health and education, shopping and transport options, as well as opportunities for leisure and sporting activities.

Envisioned for a healthy active lifestyle, Willow Logan Reserve will deliver new levels of amenity in a modern setting for family living.



Pebble Creek by Orchard Property Group



## Project snapshot

- Total yield 199 Lots
- NBN and Gas ready
- 2 hectares of open green space
- Family park with playground, basketball half court, picnic area and more
- Easy build homesites with a variety of frontages

# The Logan Region

Willow Logan Reserve is perfectly positioned to meet the demand for new housing in this burgeoning region.

Over the next 15 years Logan will be one of the fastest growing areas in South East Queensland. Logan is home to over 340,000 people and more than 10,000 moving into the region each year; the projected population is set to exceed 500,000 by 2036.

Along with this growth comes significant new infrastructure to service the growing population, including a major hospital, a satellite hospital, major tertiary education facilities and upgrades to arterial transport links. Logan is also experiencing a surge of new jobs, with an increase of 8.9% since 2016. Logan City's Gross Regional Product (GRP) was \$13.317b as of the 30th June 2020. On a similar scale to job growth, the GRP has risen 11.3% since 2016.

The four largest industry sectors in the City of Logan in 2019/2020 were responsible for almost 50% of the total output for the region, consisting of:

- Construction (\$4.66 billion or 19.2%)
- Manufacturing (\$3.41 billion or 14.0%)
- Rental, Hiring and Real Estate Services (\$2.32 billion or 9.5%)

- Health Care and Social Assistance (\$1.73 billion or 7.1%)

By June 2021, there were 122,626 residential dwellings in the Logan LGA, with a growth of 13,856 new dwellings since 2016. The South East Queensland Regional Plan (2017 ShapingSEQ) indicated that the City of Logan would require nearly 90,000 new residential dwellings by 2041 to meet the projected population growth.



\* All data sourced from loed.com.au/city-of-logan



**10,000**

People moving to Logan every year



**76,044**

Additional residential dwellings required by 2041



**500,000**

Estimated population of City of Logan by 2036



**113,947  
JOBS**

An increase of 8.9% local jobs since 2016



**\$18.9  
BILLION**

Infrastructure investment in the pipeline



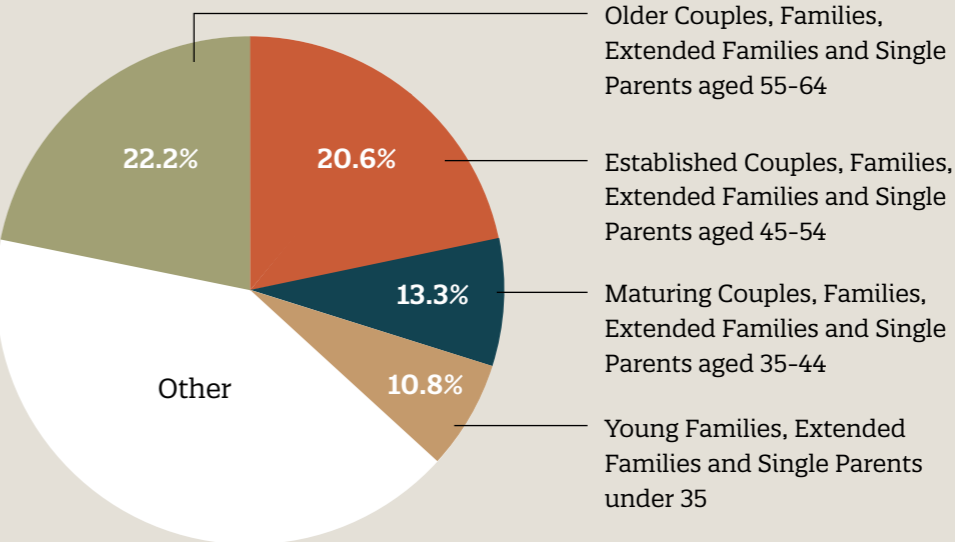
**\$13.317  
BILLION**

Logan City's Gross Regional Product (GRP) as of 30 June 2020



# Logan Population

The current Logan Reserve population is dominated by families, which is no surprise given the lifestyle on offer. With the population forecast set to continue at a fast pace, it's evident the demand for new housing will continue. In particular this demand will be met by new housing estates such as Willow, appealing to a mix of First Home Buyers and young and established families.



\* Data sourced from realestate.com.au



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## Local Amenities and Services

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Set in the heart of Logan Reserve, Willow is close to both the Logan River and Stoneleigh Reserve.

Just a short a drive away are shopping and hospitals, child care, transport options and a choice of schools, colleges and renowned Universities.



### Travel times from Willow, Logan Reserve

- 2 mins → Logan Reserve State School
- 7 mins → Marsden Park Shopping Centre
- 12 mins → Waterford Plaza
- 8 mins → Logan Motorway
- 10 mins → Loganlea Rail Station
- 10 mins → Logan Hospital
- 12 mins → TAFE Qld Loganlea Campus
- 14 mins → Logan Central Plaza
- 35 mins → Brisbane CBD
- 37 mins → Brisbane Airport
- 50 mins → Gold Coast

# A Thriving Region

## EARLY LEARNING

1. C&K Logan Reserve Community Kindergarten
2. Seedlings & Co. Logan Reserve
3. Happy Hearts Childcare & Kindergarten
4. Crestmead Early Education Centre
5. Hedley Childcare & Education Centre
6. Waterford West World of Learning
7. Tiggers Place Early Learning Centre
8. Waterford West Education & Care Centre
9. Hatchlings Early Learning Centre Waterford West
10. Waterford Play and Learn
11. C&K Crestmead Community Kindergarten

## EDUCATION

12. Logan Reserve State School
13. Marsden State High School
14. Canterbury College
15. St Philomena School
16. St Francis College
17. TAFE Qld Loganlea Campus
18. Griffith University Logan Campus
19. Kingston College

## SHOPPING AND ENTERTAINMENT

20. Waterford Plaza
21. Marsden Park Shopping Centre
22. Holmview Central Shopping Centre
23. Parkridge Town Centre
24. Grand Plaza
25. Logan Central Plaza
26. Hyperdome Shopping Centre
27. The Mall Beenleigh

## HEALTH

28. Logan Hospital
29. Waterford 7 Day Medical Centre
30. Waterford West Medical Centre
31. Marsden Clinic
32. Myhealth Medical Centre Edens Landing
33. Q Medical Holmview
34. Crestmead Medical Centre
35. Albert Street Medical
36. Myhealth Medical Centre Logan Village

## RECREATION

37. Stoneleigh Reserve Park
38. Shapland Swim School Logan Reserve
39. Bayes Park
40. Tygum Lagoon
41. Paul Hanley Tennis
42. Bethania Aquatic Centre
43. Meadowbrook Golf Club
44. Logan Metro Sports & Event Centre
45. Logan West Aquatic Centre
46. Logan Gardens Disc Golf Course
47. Logan River Parklands
48. Hammel Park
49. Mt Warren Park Golf Club
50. Windaroo Lakes Golf Course



# Close to everywhere you want to be





# Master Plan

	Stage 1	Stage 2	Stage 3	Stage 4	Total
Area of Stage	5.622ha	3.475ha	2.6ha	3.001ha	14.698ha
Lot Average Width 12.5m Min	17	17	6	6	46 (25%)
Lot Average Width 14.0m Min	24	29	23	16	92 (45%)
Lot Average Width 15.0m Min	12	14	11	23	60 (29%)
Vendor Lot	1	0	0	0	1 (1%)
<b>Total Lots</b>	<b>54</b>	<b>60</b>	<b>40</b>	<b>45</b>	<b>199 (100%)</b>

Area of Local Park	8350m <sup>2</sup>	0	0	0	8350m <sup>2</sup>
Area of Drainage Reserve	1.1546ha	0	0	0	1.1546ha
Area of Road Widening	761m <sup>2</sup>	0	0	225m <sup>2</sup>	986m <sup>2</sup>
Area of 3m Landscaped Buffer	152m <sup>2</sup>	263m <sup>2</sup>	800m <sup>2</sup>	0	1215m <sup>2</sup>
Vendor Lot	2013m <sup>2</sup>	0	0	0	2013m <sup>2</sup>
Length of New Road 15.5m Wide	672m	507m	450m	620m	2249m
Length of Road Widening 1.5m Wide	302m			150m	452m

Average Lot Area (LCC Total Area/No of Lots)	739m <sup>2</sup>
Total Area of Lots	8.904ha
Total Area of New Road	3.654ha
<b>Schedule 1 Definitions</b> Sc1.2 Administrative definitions Net Density LCC 199 Lots/14.698ha	13.5 dwg/ha
<b>Developable Area Density - Dwg/ha</b> (No. of Lots / Area of Lots & New Road - 199 Lots/12.5624ha)	16 dwg/ha



# Stage One Release

## Siting Guideline Setback

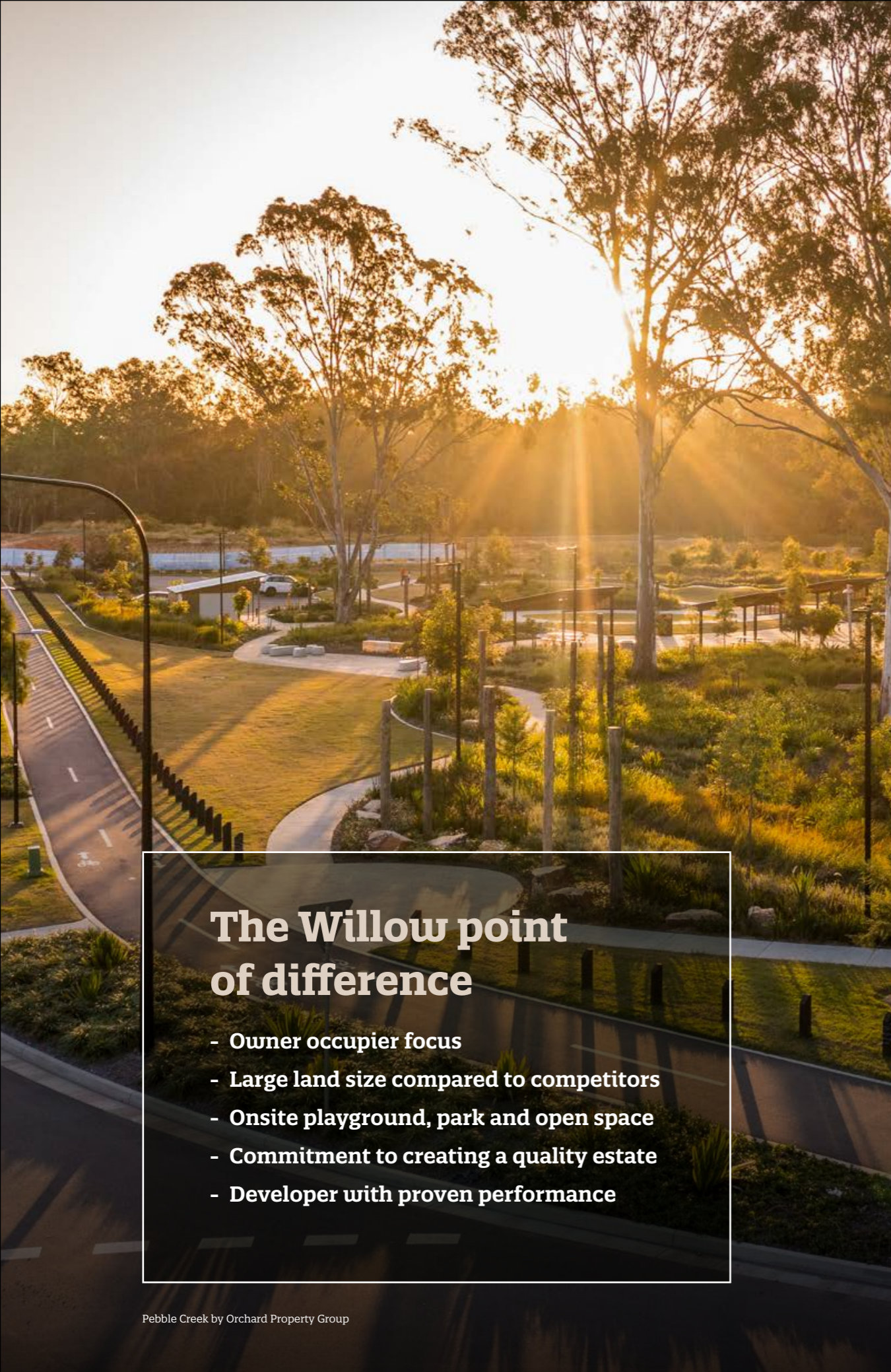
Setbacks	under 450m <sup>2</sup>	over 450m <sup>2</sup> +
Front	3m	3m
Garage	4m	4m
Side (BTB)	0m	0m
Side (Non BTB)	1.5m if building is 4.5m high or less; or 2m if the building is over 4.5m	
Rear	1.5m if building is 4.5m high or less; or 2m if the building is over 4.5m	
Max Site Coverage	60%	60%

## Design Guidelines

Home designs will need to be submitted to Orchard Property Group for covenant approval. See separate Willow Design and Siting Guidelines document for full details.

This plan is for marketing purposes only and is correct at the time of publication. Please refer to the relevant disclosure plans and survey plans for further information.





## The Willow point of difference

- Owner occupier focus
- Large land size compared to competitors
- Onsite playground, park and open space
- Commitment to creating a quality estate
- Developer with proven performance

Pebble Creek by Orchard Property Group

## Why Choose Willow?

At Orchard Property Group, we believe in creating communities that are vibrant with life by providing exceptional amenity + connectivity + urban design.

At the heart of everything we do is the belief that property development is about understanding and meeting the needs of people – now and in the future. Our pride comes from being part of the creation of communities that meet the highest standards of quality, value and



liveability. Our focus is on exceeding the expectations of the people that will call our communities home.

In creating Willow, our designers had a vision – to look beyond accepted benchmarks, to the future. Envisioned for a healthy active lifestyle, Willow delivers new levels of amenity in modern family living, in a parkland setting close to everything you need to live a happy, healthy life.



The Rise by Orchard Property Group



-  Current Projects
-  Past Projects

## Current Projects



**Loganview Road North, Logan Reserve**  
199 lot residential subdivision



**Callaghan Road, Narangba**  
106 lot residential subdivision



**Daleys Road, Ripley**  
502 lot residential subdivision



**Pebble Creek Way, South Maclean**  
646 lot residential subdivision

**Willow**  
LOGAN RESERVE